

# PLAN OF SUBDIVISION

EDITION 1

PS 904148C

## Location of Land

**Parish:** LAURISTON  
**Township:** -----  
**Section:** -----  
**Crown Allotment:** -----  
**Crown Portion:** 133 (PART)  
**Title Reference:** VOL. FOL.

**Last Plan Reference:** LOT J PS904147E

**Postal Address:** POSTMASTER WAY  
 (at time of subdivision) KYNETON 3444

**MGA Co-ordinates:** E 274 360 Zone: 55  
 (of approx. centre of land N 5 873 100 GDA 2020  
 in plan)

**Council Name:** MACEDON RANGES SHIRE COUNCIL **Ref:**

## Vesting of Roads and/or Reserves

## Notations

Identifier	Council/Body/Person
ROAD R1	MACEDON RANGES SHIRE COUNCIL

UPON REGISTRATION OF THIS PLAN RESTRICTIONS ARE TO BE CREATED; SEE SHEET 6

## Notations

**Depth Limitation:** Does not apply  
**Survey:** This plan is based on survey  
**Staging:** This is not a staged plan of subdivision  
**Planning Permit No.** PLN/2021/191  
**This survey has been connected to permanent mark(s):** 34  
**In Proclaimed Survey Area No.** -----

**WARNING:**  
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## Easement Information

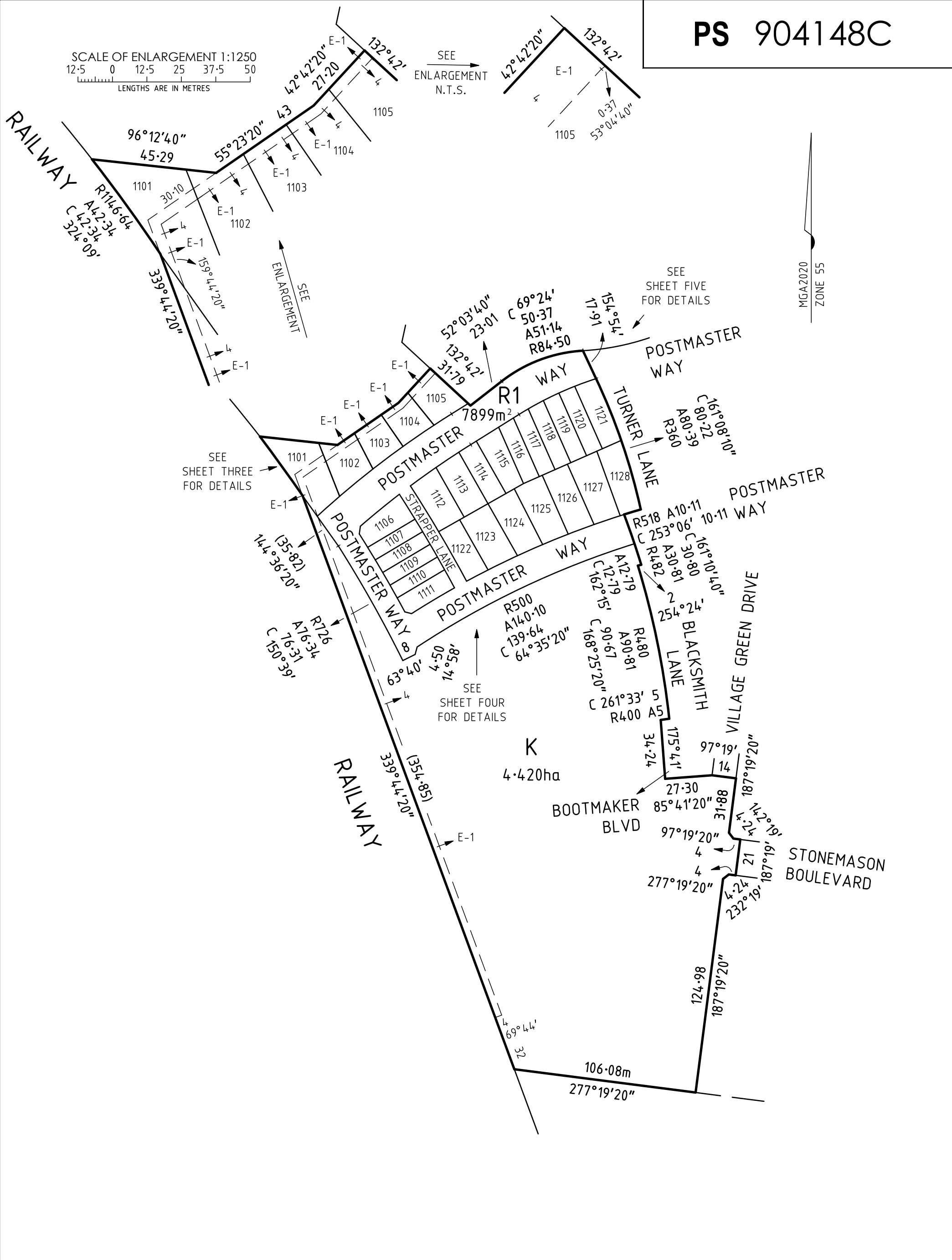
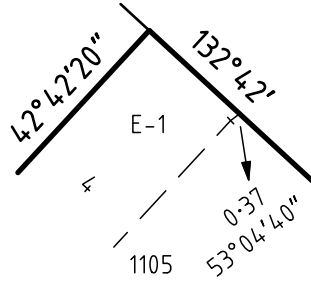
**Legend:** E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement or other Encumbrance A - Appurtenant Easement

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	WATER SUPPLY AND DRAINAGE  PLEASE NOTE THAT SERVICES ARE YET TO BE DESIGNED AND CREATION OF EASEMENTS OVER SOME LOTS SHOULD BE EXPECTED	4	T818268L	COLIBAN REGION WATER CORPORATION



SCALE OF ENLARGEMENT 1:1250  
 12.5 0 12.5 25 37.5 50  
 LENGTHS ARE IN METRES

SEE ENLARGEMENT N.T.S.



MGA2020  
 ZONE 55

SEE SHEET FIVE FOR DETAILS

SEE SHEET THREE FOR DETAILS

SEE SHEET FOUR FOR DETAILS

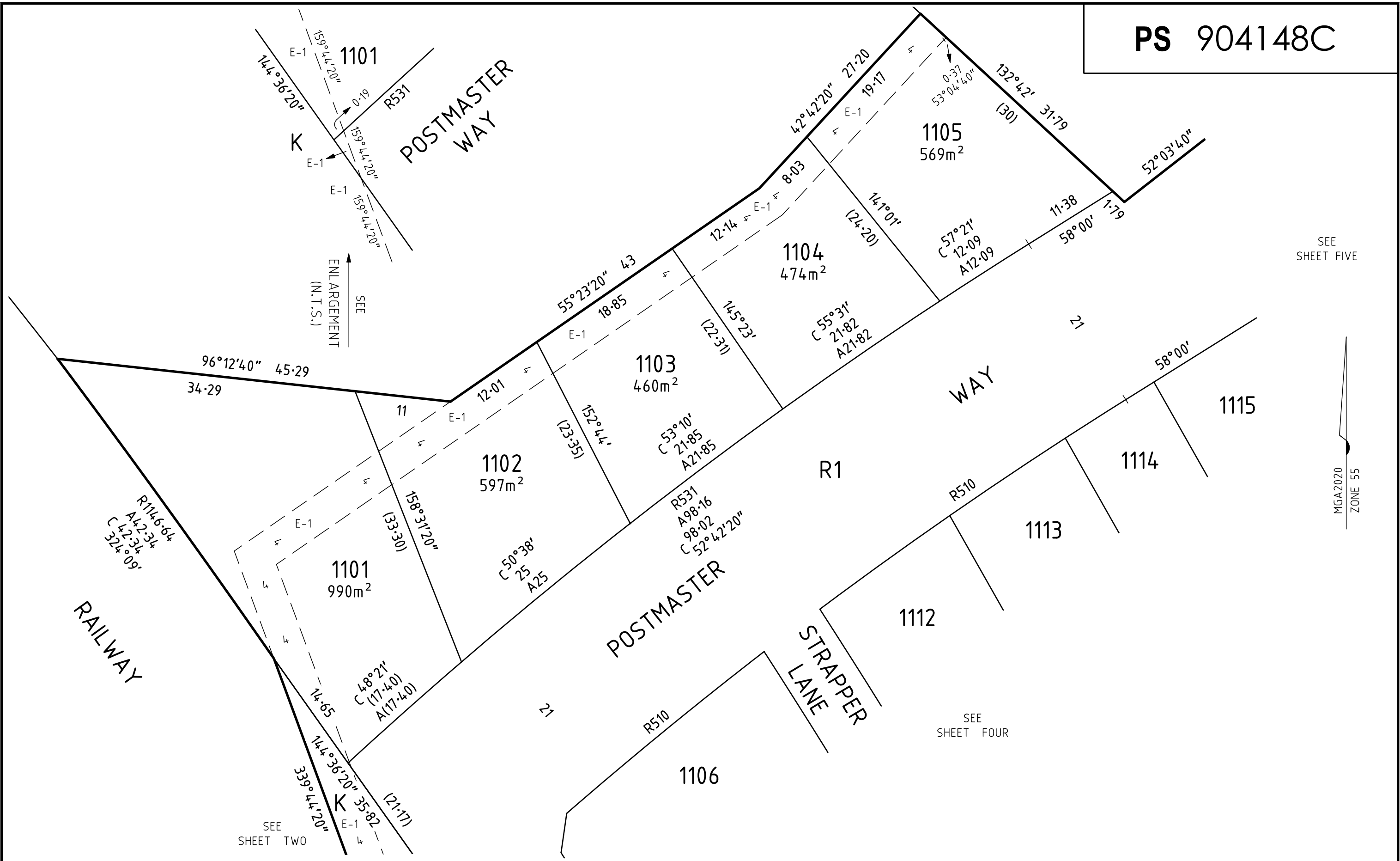
**Tomkinson**  
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SCALE 1:2000  
 20 0 20 40 60 80  
 LENGTHS ARE IN METRES

CHRISTOPHER SCOTT FRANKS

ORIGINAL SHEET SIZE A3	SURVEYORS REF No. 1059707 STG11	VER 03	PLOTTED 23-02-2022	P.J.L.
			Sheet 2	

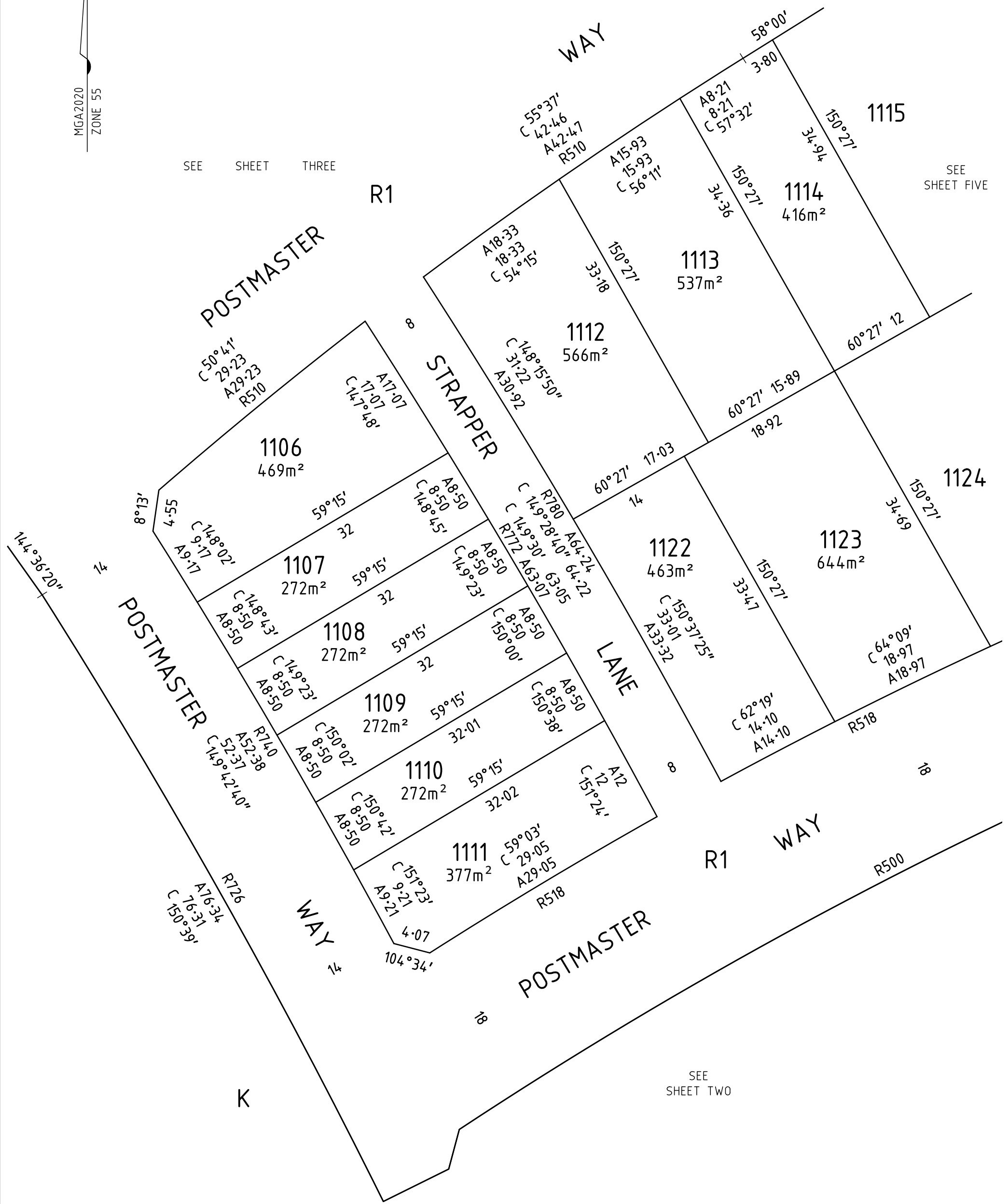


MGA2020  
ZONE 55

SEE SHEET THREE

SEE SHEET FIVE

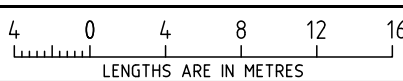
SEE SHEET TWO



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SCALE  
1:400



ORIGINAL SHEET SIZE  
A3

SURVEYORS REF No.  
1059707 STG11

VER  
03

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Sheet 4

CHRISTOPHER SCOTT FRANKS

MGA2020  
ZONE 55

SEE  
SHEET  
THREE

52°03'40"

C 69°24'  
50-37  
A51-14  
R84-50

POSTMASTER  
WAY

R1

POSTMASTER  
WAY

C 65°05'  
49-31  
A49-43  
R200

154°54'  
17-91

A10  
10  
C 66°58'

A13-15  
13-15  
C 70°17'

A38-72  
38-70  
C 157°49'20"

TURNER

1121  
506m<sup>2</sup>

1120  
397m<sup>2</sup>

1119  
396m<sup>2</sup>

1118  
390m<sup>2</sup>

1117  
379m<sup>2</sup>

1116  
365m<sup>2</sup>

1115  
475m<sup>2</sup>

1114

C 80°22'  
161°08'10"  
R360 A80-39

66°10'  
12

66°10'  
10

66°10'  
10

66°10'  
10

66°10'  
10

66°10'  
10

60°27'  
11-69

60°27'  
17-54

LANE

A4-1-67  
4-1-64  
C 164°13'

1127  
675m<sup>2</sup>

1126  
603m<sup>2</sup>

1125  
628m<sup>2</sup>

1124  
594m<sup>2</sup>

1123

1128  
584m<sup>2</sup>

72°58'  
C 12-47  
A12-47  
R518

C 71°24'  
16  
A16

C 69°38'  
16  
A16

C 67°51'  
16  
A16

C 66°05'  
16  
A16

POSTMASTER  
WAY

R1

POSTMASTER  
WAY

C 190°25'  
A18-02  
18-01  
R4-82

A10-11  
10-11  
C 253°06'

C 30-80  
A30-81  
R4-82

161°10'40"

161°10'40"

A12-7-9  
12-7-9  
C 162°15'

2

254°24'

R4-80

BLACKSMITH  
LANE

R500  
A140-10  
139-65  
C 64°35'40"

K

SEE SHEET TWO

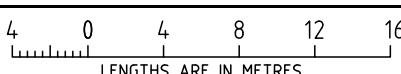


SURVEY ENGINEERING PLANNING PROJECT MANAGEMENT

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SCALE  
1:400



ORIGINAL  
SHEET SIZE  
A3

SURVEYORS REF No.  
1059707 STG11

VER  
03

PLOTTED 23-02-2022 P.J.L.  
Sheet 5

CHRISTOPHER SCOTT FRANKS

**Creation of Restrictions**

Upon registration of this plan the following restrictions are to be created:

1. The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land

**Burdened Land:** All the lots in PS904148C, except Lot K

**Benefited Land:** All the lots in PS904148C, except Lot K

**Restriction:**

The burdened land cannot be used except in accordance with the provisions recorded in MCP T.B.A.

Expiry Date: 01/AUG/2043

2. The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land

**Burdened Land:** All the lots in PS904148C, except Lot K

**Benefited Land:** All the lots in PS904148C, except Lot K

**Restriction:**

No dwelling can be constructed without including a minimum 3000 litre rain water tank which is to be connected to supply water for toilet flushing and outdoor usage to the satisfaction of the responsible authority

Expiry Date: 01/AUG/2043