

PLAN OF SUBDIVISION

EDITION 1

PS 904147E

Location of Land

Parish: LAURISTON **At:**
Township: -----
Section: -----
Crown Allotment: -----
Crown Portion: 133 (PART)
Title Reference: VOL. FOL.

Last Plan Reference: LOT G PS822825Q

Postal Address: VILLAGE GREEN DRIVE
 (at time of subdivision) KYNETON 3444

MGA Co-ordinates: E 274 370 Zone: 55
 (of approx. centre of land N 5 873 130 GDA 2020
 in plan)

Council Name: MACEDON RANGES SHIRE COUNCIL **Ref:**

Vesting of Roads and/or Reserves

Notations

Identifier	Council/Body/Person
ROAD R1	MACEDON RANGES SHIRE COUNCIL

UPON REGISTRATION OF THIS PLAN RESTRICTIONS ARE TO BE CREATED; SEE SHEET 5

Notations

Depth Limitation: Does not apply

Survey: This plan is based on survey

Staging: This is not a staged plan of subdivision

Planning Permit No. PLN/2021/191

This survey has been connected to permanent mark(s): 34

In Proclaimed Survey Area No. -----

WARNING:

This document is a copy of an unregistered plan. It is preliminary in nature and remains so until it is ultimately registered at Land Victoria and titles have been amended or issued. Until that time changes may be made to this document without any notification. Tomkinson Group accepts no liability for any loss or damage arising from the use of this plan without you first having confirmed in writing, from Tomkinson, the currency and suitability of this document for your particular intended use.

Easement Information

Legend: E - Encumbering Easement or Condition in Crown Grant in the Nature of an Easement or other Encumbrance A - Appurtenant Easement

Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	WATER SUPPLY AND DRAINAGE PLEASE NOTE THAT SERVICES ARE YET TO BE DESIGNED AND CREATION OF EASEMENTS OVER SOME LOTS SHOULD BE EXPECTED	4	T818268L	COLIBAN REGION WATER CORPORATION



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STAGE 10

SURVEYOR'S FILE REF: 1059707 STG10 VERSION 03
 PLOTTED 23-02-2022 P.J.L.

ORIGINAL SHEET
 SIZE: A3

Sheet 1 of 5 Sheets

CHRISTOPHER SCOTT FRANKS

SCALE OF ENLARGEMENT 1:1250
 12.5 0 12.5 25 37.5 50
 LENGTHS ARE IN METRES

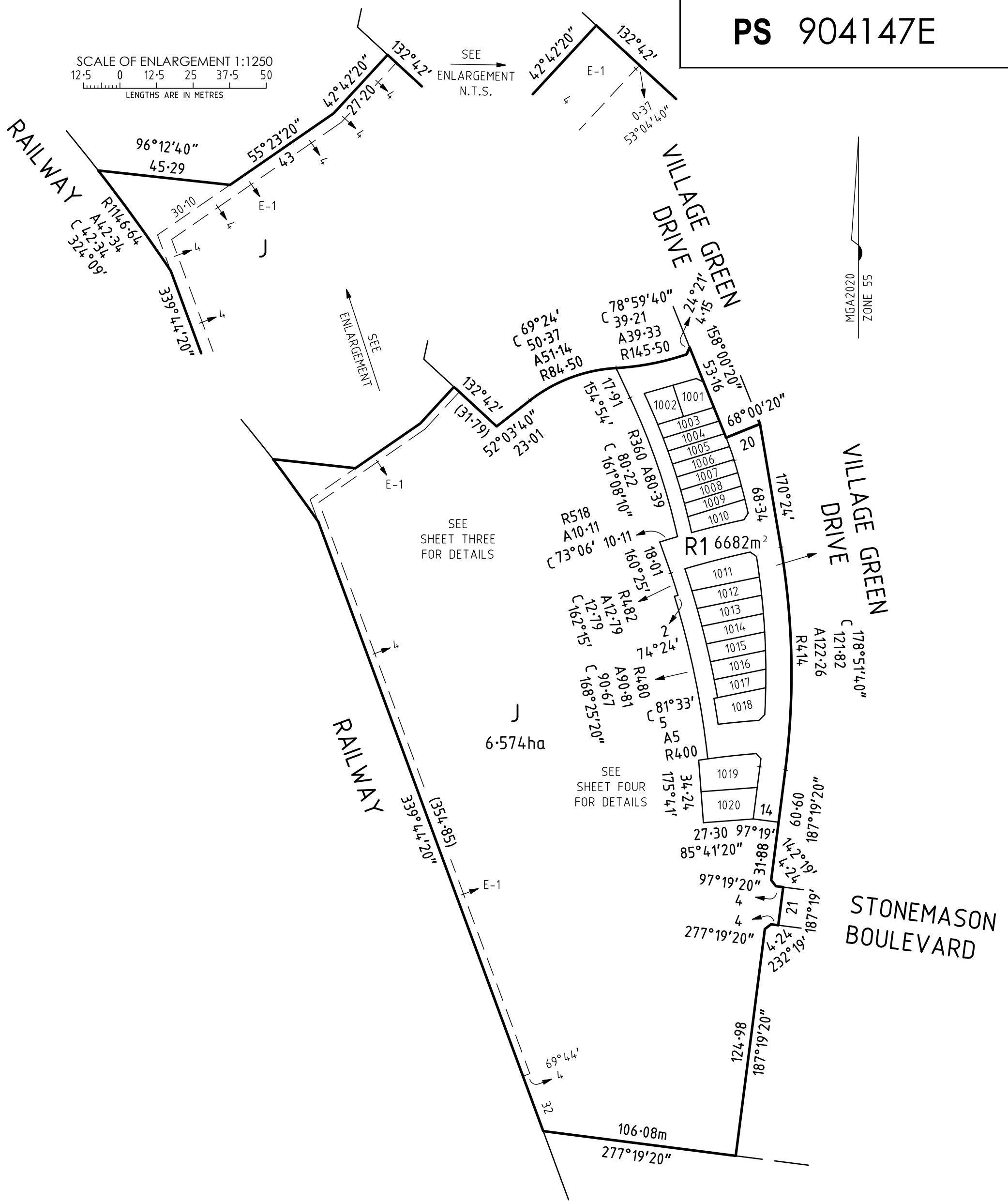
SEE ENLARGEMENT N.T.S.

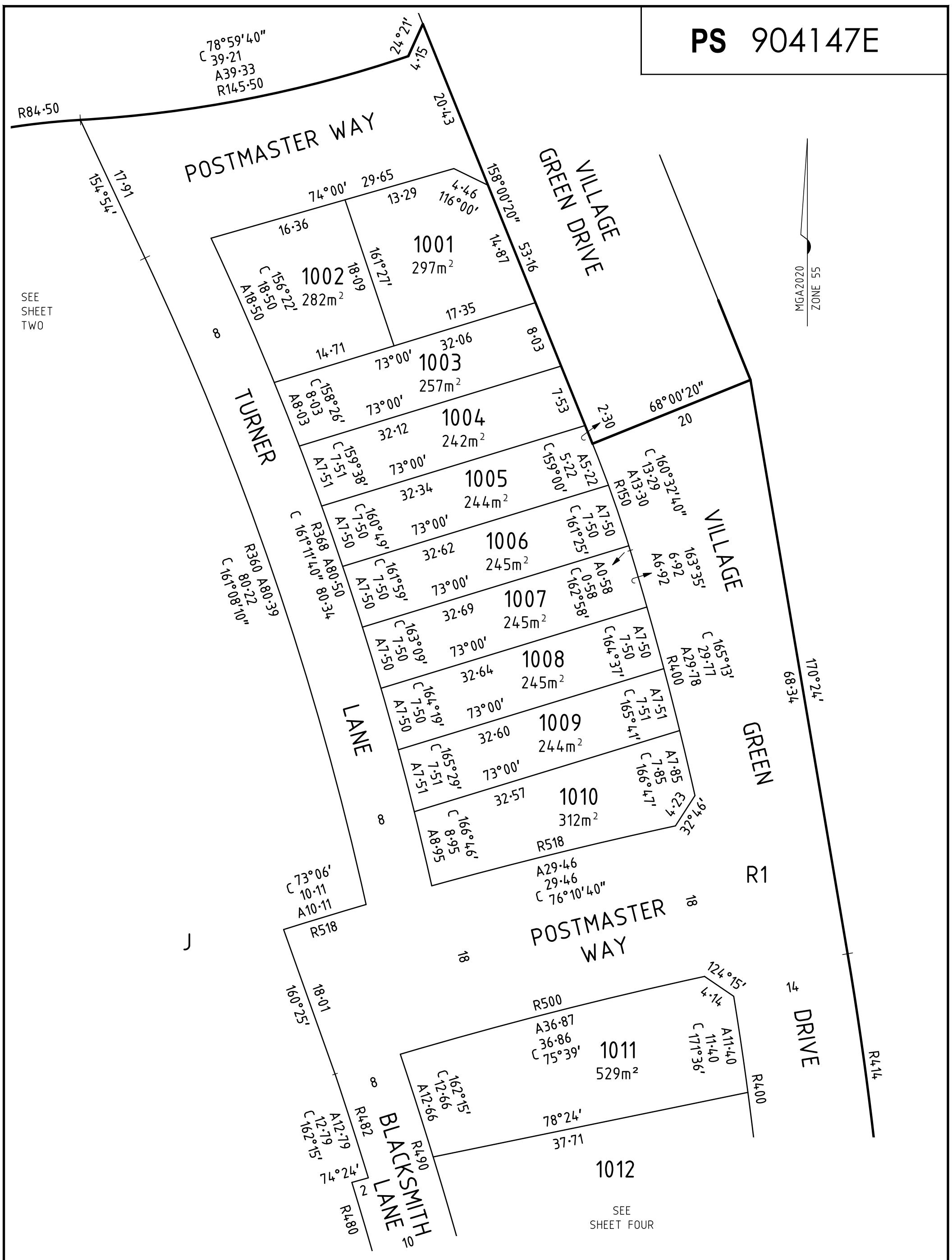
SEE ENLARGEMENT

SEE SHEET THREE FOR DETAILS

SEE SHEET FOUR FOR DETAILS

MGA2020
 ZONE 55





SEE SHEET TWO

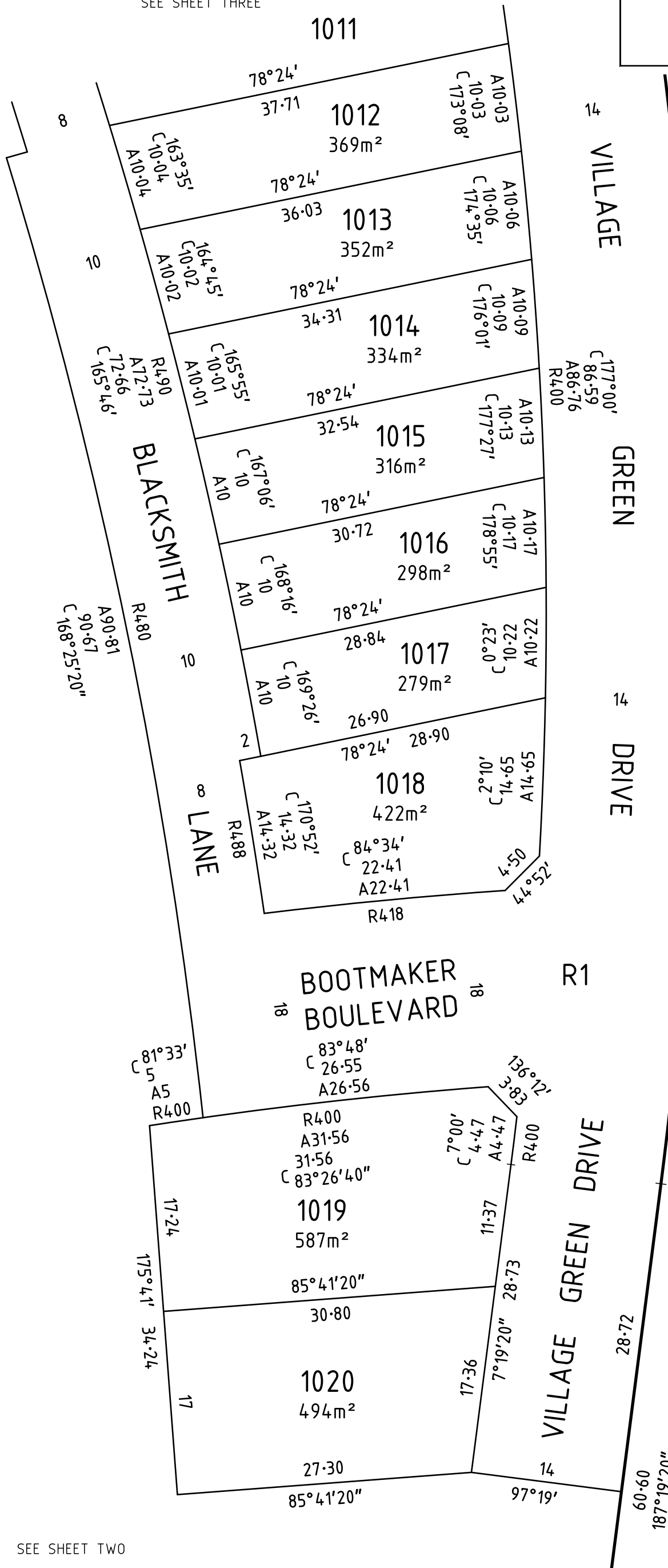
MGA2020
ZONE 55

SEE SHEET FOUR



SEE SHEET THREE

PS 904147E



MGA2020
ZONE 55

178°51'4.0"
C 121-82
A122-26
R4-14

177°00'
C 86-59
A86-76
R4-00

A90-81
90-67
C 168°25'20"

SEE SHEET TWO

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SCALE 1:400

LENGTHS ARE IN METRES

CHRISTOPHER SCOTT FRANKS

ORIGINAL SHEET SIZE A3	SURVEYORS REF No. 1059707 STG10	VER 03	PLOTTED 23-02-2022	P.J.L.
			Sheet 4	

Creation of Restrictions

Upon registration of this plan the following restrictions are to be created:

1. The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land

Burdened Land: All the lots in PS904147E, except Lot J

Benefited Land: All the lots in PS904147E, except Lot J

Restriction:

The burdened land cannot be used except in accordance with the provisions recorded in MCP T.B.A.

Expiry Date: 01/AUG/2043

2. The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land

Burdened Land: All the lots in PS904147E, except Lot J

Benefited Land: All the lots in PS904147E, except Lot J

Restriction:

No dwelling can be constructed without including a minimum 3000 litre rain water tank which is to be connected to supply water for toilet flushing and outdoor usage to the satisfaction of the responsible authority

Expiry Date: 01/AUG/2043

