



Kyneton
on riverside

kynetononriverside.com.au



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Kyneton on Riverside will be a vibrant new neighbourhood that is home to a diverse, healthy community; a place that reinforces the local economy and character of Kyneton.

Nestled into the rolling hills on the south side of the Campaspe River, Kyneton on Riverside builds on the unique and valued characteristics of the Kyneton township whilst taking advantage of contemporary design and energy efficiency opportunities.

Strategically located close to existing infrastructure including the Kyneton train station, primary and secondary schools, Kyneton on Riverside presents a rare opportunity to create a neighbourhood where residents can walk and cycle to their daily needs.

Significant parklands along the Campaspe River will create new amenities for both new and established residents of the township bringing the communities together.



A place that reflects, respects and contributes to the character of Kyneton



Housing diversity, accessibility and architectural quality



An active healthy community



THE PURPOSE OF THE GUIDELINES

The Design guidelines have been prepared to ensure the Kyneton on Riverside development is delivered to the highest architectural and environmental standards and to safeguard the character and identity of Kyneton.

Through providing owners and builders guidance on their home and garden designs, these guidelines will achieve several important outcomes:

1. The guidelines will influence the design, architectural style and landscaping across the neighbourhood to create a coherent and harmonised character that is consistent and complementary with the established neighbourhoods of Kyneton.
2. The guidelines will help owners and builders get the best out of their site ensuring that houses are built in a way that suits the climate and topography of the area. The guidelines will ensure each property contributes to the streetscapes and public spaces of the neighbourhood to create a pedestrian friendly and legible urban environment.
3. The design guidelines will also provide a streamlined approval process for owners, builders and Council.

The design guidelines allow for flexibility and encourage residents to "create their place". The architecture styles encouraged in this neighbourhood are contemporary interpretations of traditional Australian country homes. Contemporary house designs, modern materials and high quality landscaping will be the hallmarks of the neighbourhood, the guidelines will ensure these elements are used in a considered and appropriate way.

THE APPROVALS PROCESS

The developer has appointed a Design Review Panel (DRP) to assess compliance with the design guidelines and provide guidance and interpretation where required.

All house designs and building work must be approved by the DRP prior to obtaining a **Planning Permit (where required)** and a Building Permit and commencing any work. The final decision regarding all aspects of the design guidelines will be at the discretion of the DRP. The DRP also reserve the right to waive or vary any requirement of the design guidelines.

The Design Guidelines will form part of a Memorandum of Common Provisions (MCP) that is included as a restriction of the plan of subdivision for each Stage of the development. In addition to assessment by the DRP to ensure compliance with these Design Guidelines and the MCP Restriction, any residential development will be subject to a planning permit application where required under the Macedon Ranges Planning Scheme and / or a Building Permit application. Lot's let than 300m2 will require a planning permit for development under the Macedon Ranges Planning Scheme.

In the process of assessing the merit of individual housing, the DRP will give consideration to any potential impact or enhancement to the character and cohesion of the local streetscape as well as strategic views and vistas.

Proposals which are deemed appropriate by the DRP will be issued a notice of compliance. Failed applications will be issued a design report describing the concerns of the panel and advise on what measures could be taken to revise their proposal and meet the requirement of the Design Guidelines.

The assessment of a proposals compliance with the design guidelines is at the discretion of the DRP. Consideration will be given to individual design merit, site responses and special circumstances.

All building will require a building permit from Macedon Ranges Shire Council or a Licensed Building Surveyor. A notice of compliance will be required as part of an application of a Building Permit.

These design guidelines should be read in conjunction with the Macedon Ranges Shire Council Planning Scheme Clauses 54 & 55. Approval of the DRP does not exempt the applicant from compliance with statutory planning regulations. It is the responsibility of the applicant to confirm if planning permits are required and if so to obtain the necessary consents.

Figure 1 describes the steps necessary to complete the approval process. Details on the information required for a Design Approval Application to the DRP including application forms, design checklists and schedules of required drawings, plans and details have been provided in Appendix A of the guidelines.

REVIEW OF THE GUIDELINES

These guidelines will be reviewed regularly and will be updated as required to allow the project to **response respond** to changing trends, market demands and new technologies. Proposed amendments related to ResCode requirements will be reviewed in consultation with Macedon Ranges Shire Council.

HOUSING TYPES AND DEFINITIONS

These Design guidelines apply to all housing in the DP/2013/2 area. A broad diversity of housing has been provided for in the Development Plan ranging from large lots overlooking major parklands to laneway accessed cottage housing as well as a small number of strategically located two storey terrace housing.

For the purposes of these design guidelines housing has been addressed as a mix of "traditional housing" and "compact housing". Definitions of the principal housing types are given below.

Traditional Housing makes up the bulk of the lots in the DP/2013/2 area with conventional lots between 500m² and 800m². These **house houses** have street access to garages in the front of the houses referred to as Front Loaded.

Dwelling construction conducted in accordance with these Design Guidelines shall be limited to a single dwelling per lot; and that dwelling shall consist of maximum of two storeys at any point. Per clause 32.08-9 of the Macedon Ranges Planning Scheme a basement may be considered to not be a storey for the purposes of calculating the number of storeys contained in a building.

Corner Lots are traditional housing lots that sit on the intersection of two or more local streets creating a secondary street address. Specific design controls have been incorporated into the design guidelines to ensure the design of these lots positively contribute to both primary and the secondary streetscapes. This includes encouraging house designs that integrate the garage into the secondary street address referred to as Side Loaded.

Compact Lots are defined as lots under 500m² and predominantly have laneway access for vehicles as well as a primary street address. Specific design controls have been incorporated into the design guidelines to ensure the design of these lots positively contribute to the streetscape and to ensure the laneways are activated appropriately. Under this housing category are a number of different lot types for specific housing models as described below.

Cottage Lots are laneway accessed houses on lots between 300m² – 400m². These lots are strategic located in areas of high amenity overlooking local parks and green spaces. These lots are largely anticipated to be single storey detached homes with reduced front setbacks and detached garages on the rear boundary.

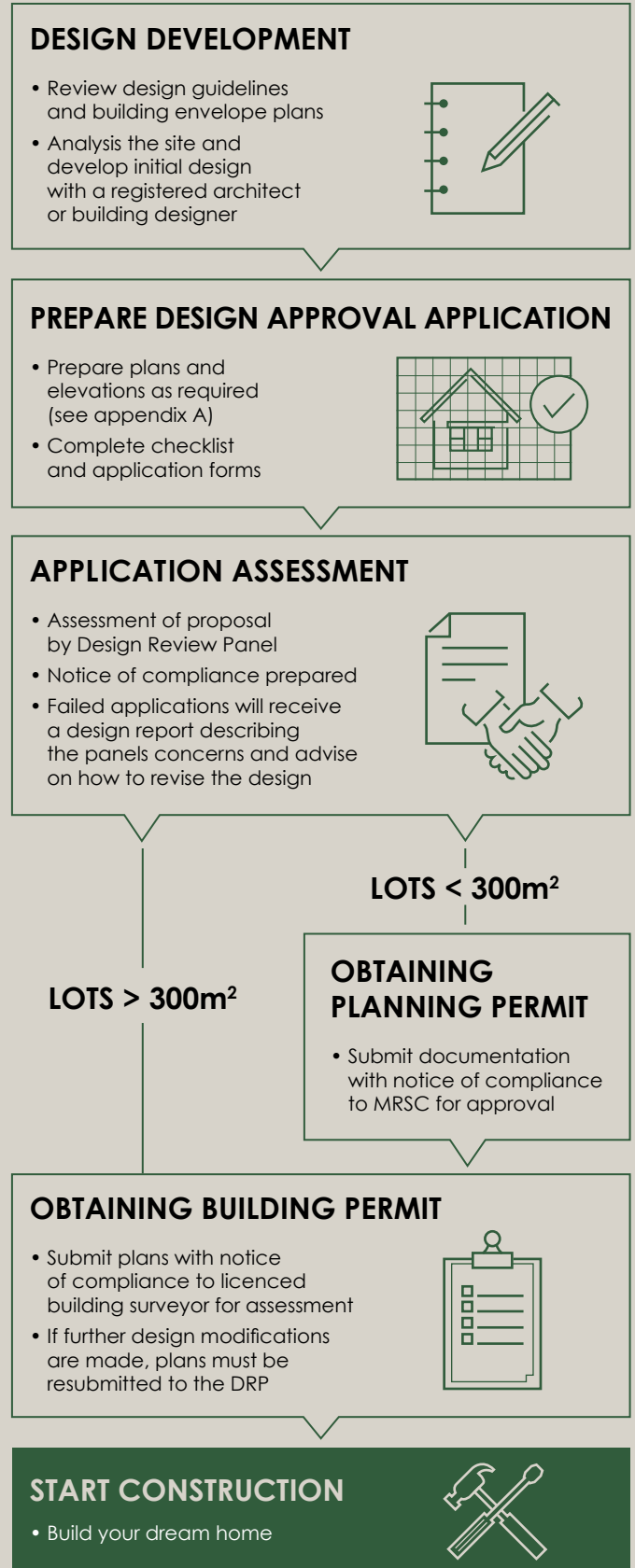
Terrace Lots are laneway accessed houses on lots less than 300m². These lots are designated for fully attached, 2 storey row housing designed and delivered as an integrated development.

All the compact housing will be released as builders packs or superlots to developer / builders to sell as house and land packages. This is an important step to ensure design integrity and maximise the efficiency of the construction.

The DRP will asses compliance with the design guidelines for the compact housing as an integrated development reviewing the design responses, character and integrity

of the development as a whole, not as individual lots. In instances where the integrated developments include lots less than 300m², planning permits will be required for those lots.

Figure 1



THE CHARACTER OF KYNETON

“Kyneton is a microcosm of Victorian urban patterns. These will continue to evolve to reflect the social and economic forces that shape this community”

(Kyneton Neighbourhood Character Study, 2013, Aecom.)

The architectural and place fabric of Kyneton has been surveyed and analysed to inform these guidelines and ensure the character of place is captured and reflected.

While diverse, the urban character of Kyneton has several defining elements and the synoptic survey reveals several important lessons for the future character of the new neighbourhood.

The following photo analysis explores the architectural treatments, design styles and urban elements that have influenced the design controls enshrined in these design guidelines.

PUBLIC/PRIVATE TRANSITIONS AND BOUNDARY TREATMENTS

Many of the properties in Kyneton have clearly defined “front gardens” that are useable spaces for residents. The low front fences on the streets of Kyneton are significant part of the township’s urban character. Many houses have landscaped pathways to the front door.



Woven wire fence with painted timber structure



Defined entry points with direct access to front door



Landscape gardens behind transparent fence



Hedge planting against boundary fence



Tree planting inside front garden area



Reduced setback for cottages with buildings closer to street

STREET PRESENCE AND ACTIVATION OF THE FRONT GARDENS

The traditional houses of Kyneton have a strong presence and activate and overlook the street. Front verandahs are a defining feature of the township, traditional roof design including gable features and step roof pitches are also a strong element.



Verandahs wrapping the corner of buildings



Gable facing the street, verandah an attached structure below roof line



Verandah capturing a level change in the site



Elevated front verandah creating vertical separation encouraging use of the verandah

COHERENT ARCHITECTURAL CHARACTER, LIMITED USE OF DIFFERENT MATERIALS

The traditional houses of the township have clean, simple palettes of materials, many are weatherboard clad accenting and varying the facade through colour schemes. Corrugated metal sheet roof and slimline tiles are another strong element of the urban character.



Gable designs, awnings over window



Gable designs, Bay window element



Weatherboard cladding articulated with colour scheme



Brick veneer with slim line tiled roof



Three materials, weatherboard, brick and tiled roof



The Guidelines

4.1 SITE LAYOUT AND BUILDING SITING

- A. STREET ADDRESS AND PEDESTRIAN ACCESS
- B. BUILDING ORIENTATION
- C. VEHICLE ACCESS AND CAR PARKING
- D. BUILDING SETBACKS
- E. SITES WITH SLOPE

4.2 HOUSE STYLE GUIDELINES

- A. FRONT FACADE AND ARTICULATION
- B. BUILDING HEIGHTS
- C. ROOF DESIGN AND MATERIALS
- D. GARAGES AND CARPORTS
- E. BUILDING MATERIALS AND COLOURS
- F. ANCILLARY STRUCTURES AND MECHANICAL EQUIPMENT

4.3 LANDSCAPING

- A. BOUNDARY AND FRONT FACING
- B. LANDSCAPING

SITE LAYOUT & BUILDING SITING

A. STREET ADDRESS AND PEDESTRIAN ACCESS

OBJECTIVES

- Create an attractive street address ensuring a clearly visible front entrance to the property
- Encourage passive surveillance and activation of the public realm

CONTROLS

- Properties are required to have a clearly visible pedestrian access way that is separate from any driveways
- A legible street address is expected to present to the primary street frontage
- Efforts should be made to minimise potential pedestrian and vehicle conflicts both within the site and at the boundary interface
- Houses on corner lots are required to address and overlook both street frontages
- Compact housing including laneway accessed cottage and terrace housing to be designed to present a co-ordinated and integrated street address



Front door address street, pedestrian access separate to driveway



Contemporary cottage housing contributing to the open space amenity

B. BUILDING ORIENTATION

OBJECTIVES

- Minimise overshadowing and overlooking of adjoining lots private open spaces
- Ensure the building orientation optimises the passive solar performance of the living spaces and passive open spaces
- Provide energy efficient housing appropriate to its local condition and context
- Maximise the distinct character of each lot capturing opportunities for views and enhancing sight lines

CONTROLS

- Living areas, private open spaces and alfresco dining areas to capture north aspects where possible
- Building designs to allow for adequate cross ventilation
- Compact housing including laneway accessed cottage and terrace housing to be designed with consideration to solar performance of adjoining lots including any abutting courtyard gardens and private open spaces



North facing open spaces and living areas with cross ventilation

C. VEHICLE ACCESS AND DRIVEWAYS

OBJECTIVES

- To ensure driveways and car parking areas are integrated into the design of properties and do not dominate the visual amenity of the streetscape
- Minimise potential pedestrian and vehicle conflicts
- To ensure an appropriate level of vehicle access is provided for each property
- To ensure safe and convenient vehicle access is provided with appropriate responses to the topographical constraints of each site

CONTROLS

- Sufficient provision of on-site car parking for each dwelling **should must** be provided
- Driveway gradients exceeding 1:5 are not permitted. Split level garages may be required and are encouraged
- The driveway **should must** be setback from the closest side boundary by at least 500mm to allow for landscaping strip
- Driveways are required to taper to 3m or to match the width of the crossover at the property boundary
- The design and material of the driveway should complement the overall design of the dwelling noting that:
 - » Unfinished natural grey or plain coloured concrete are not permitted
 - » Exposed aggregate, block paving, natural stone or brick finishes are encouraged
 - » ~~Light coloured permeable materials such as gravels or crushed limestone are encouraged; Appropriate hard edges are required including a hard edge transition at the boundary interface with the footpath~~
- Corner lots are to be side loaded with driveways and vehicle access provided off the secondary street frontage towards the rear of the lot
- Driveway gates at street boundary are encouraged for battleaxe lots
- Tandem parking is acceptable



Driveway and garage integrated and not dominating streetscape



Detached, side loaded garage on corner lot



Exposed aggregate concrete



Stamped coloured concrete



Cobble stone setts



Brick and block pavers



~~Crushed decomposed granite~~



Mixed finishes & defined edges

SITE LAYOUT & BUILDING SITING

D. BUILDING SETBACKS

OBJECTIVES

- Create coherent articulated streetscapes that respond to the character and activity of each street
- Avoid overshadowing of private open spaces and to protect the good solar amenity of windows to habitable rooms
- Allow for reduced setbacks for compact lots with laneway access and rear loaded garages

DEFINITIONS AND ARTICULATIONS

- Front, side and rear setbacks shall be measured from the property boundary to the main wall of the house
- Entry features such as verandahs, porches and pergolas may encroach up to 2m into the minimum required front setback
Note: a minimum 4m front setback is required for any entry feature which exceeds a height of 3.6m
- Eaves, fascia and gutters not more than 600mm in width may encroach into specified setbacks

LOTS GREATER THAN 500m² / LOT DEPTH EXCEEDING 30M

- Minimum front setback of 5.5m; a maximum of 6.5m
- Minimum side setback of 1m on at least one side of the lot
- Minimum rear setback of 5m

LOTS GREATER THAN 500m² / LOT DEPTH 30M OR LESS

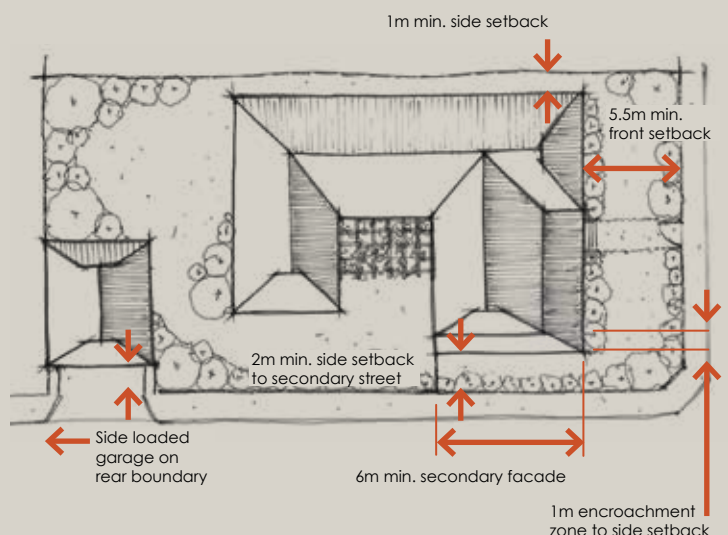
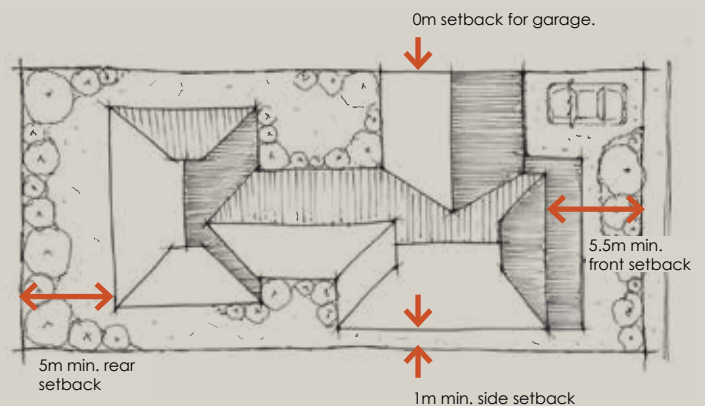
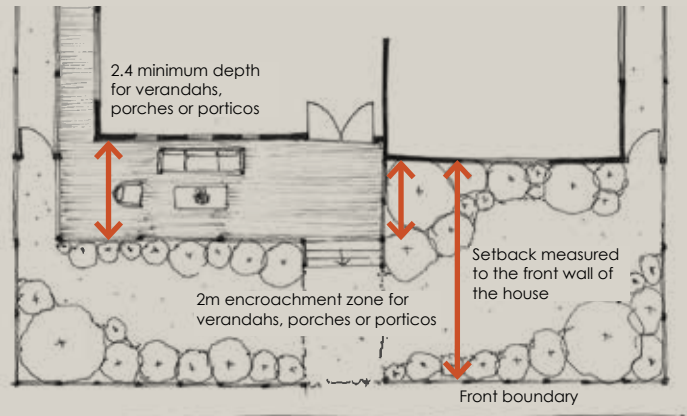
- Minimum front setback of 4.5m; a maximum of 5.5m
- Minimum side setback of 1m on at least one side of the lot
- Minimum rear setback of 3m

CORNER LOTS

- All corner lots to have a minimum 2m setback from the secondary street frontage
- Verandahs, porches, porticos and eaves, gutters and fascia may encroach 1m into this side setback

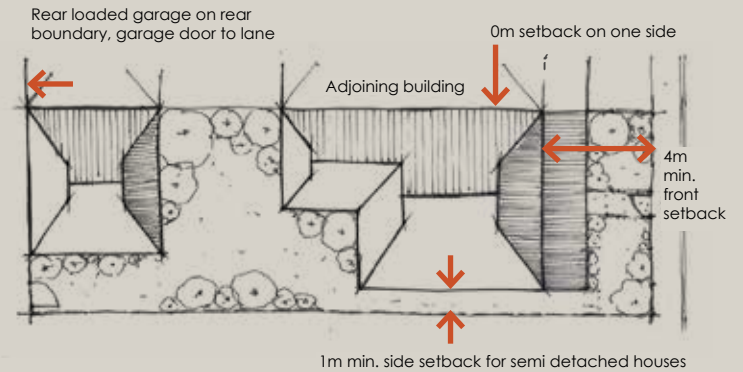
DOUBLE STOREY HOMES

- First floors are required to be setback from side boundaries by at least 2m (excludes terrace housing developments)
- Eaves, fascia and gutters not more than 600mm in width may encroach



COMPACT LOTS

- Minimum front setback of 4m; a maximum of 4.5m
- Side boundaries subject to design review noting that:
 - » Fully attached, zero side setback permissible for integrated terrace housing developments
 - » Cottage lots allow a minimum 1m side setback on one boundary



E. SITES WITH SLOPE

OBJECTIVES

- Minimise the impact of site benching on the amenity and character of the streetscapes and open spaces
- Ensure that house designs appropriately respond to the topographical constraints of each site reducing excavation and retaining structures

CONTROLS

- Rear boundary retaining walls and landscape batters encouraged to reduce the extent of level change at the street boundary
- Encourage the use of half or full split level housing on sites with considerable slope
- Landscaped batters and slopes not to exceed a maximum grade of 1:3
- Retaining walls visible from the street **should must** not exceed 900mm, tiered walls permissible with a minimum 500mm landscaped separation between walls



Retaining the rear of the property



Retaining the wall and landscape batters on boundary instead of front fence

HOUSE STYLE GUIDELINES

GENERAL GUIDELINES AND DIRECTION

The architecture styles encouraged in this neighbourhood are contemporary interpretations of traditional Australian country homes.

The homes and architecture should draw on the architectural proportions, language and materials of the historic cottages and homes in Kyneton without resorting to mock period reproduction homes.

These design guidelines are intended to ensure that strengths of the traditional Australian house designs and details are captured without limiting the opportunity for contemporary homes, modern materials and finishes or personal expression.

The guidelines facilitate and encourage a diverse range of house style and design while ensuring that a considered and co-ordinated character across the neighbourhood that reflects and contributes to the identity and urban quality of Kyneton.



Contemporary interpretations of traditional Australian country homes



Modern sustainable homes that reflect, respect and contribute to the character of Kyneton

A. FRONT FACADE AND ARTICULATION

OBJECTIVES

- To create a consistent and co-ordinated character throughout the neighbourhood
- To ensure the houses reflect and contribute to the character of Kyneton
- To encourage high quality architectural design and finishes
- To ensure all dwellings, particularly those overlooking open spaces present well when viewed from public areas
- To maximise passive surveillance of the street and open spaces of the neighbourhood



High quality architectural designs that respond to the site and the context

GENERAL CONTROLS

- Buildings are expected to incorporate a useable front verandah or porch element into the front facade; parapet porticos are not permitted
- All homes are expected to have glazing to habitable rooms to the front verandah or porch elements, windows are minimum, glazed doors or French doors are encouraged
- Verandah and porch elements shall have minimum depth of between 1.8m and 2.4m with a minimum area of 12m²
- Subject to the topographical constraints of each site, verandah and porch elements should incorporate a minimum 200mm vertical separation from the landscaping or street level
- Elements such as turn post decorative columns, ornate mouldings, or lace fretwork are discouraged
- Parapet details facing the street will generally not be approved
- Articulation of the front facade should be integrated with the roof design with consideration of elements such as gables with painted bargeboards and soffits

CORNER LOTS

- The buildings are required to be designed with a secondary facade addressing the side street. Blank facades, including facades with frosted high-level glazing, are not permitted to secondary streets
- The features of the primary facade including verandahs or porch elements, materials and window treatments should be continued on the secondary facade for at least 6m from the primary facade
- Services, hot-water systems and air-conditioners are not be visible from adjoining streets and public spaces

COMPACT LOTS

- The design, front facades and articulation of attached and semi detached lots are to be co-ordinated, presenting the dwellings as an integrated development, not individual lots
- Consistent design elements including matching materials, proportions and architectural details are required. Subtle variations in the design and facades are encouraged
- The general design controls and the design controls for corner lots apply to compact lots



Useable front verandah, porches and porticos that activate the street



Facade treatments that address secondary street frontages, verandahs that wrap the corners



Co-ordinated and considered designs for rear loaded lots

HOUSE STYLE GUIDELINES

B. BUILDING HEIGHTS

OBJECTIVES

- Encourage taller built forms on key sites, premium lots and on terminating vistas and overlooking major open spaces
- Ensure appropriate articulation of the upper levels of taller buildings, particularly double storey homes, to avoid excessive building mass or bulky facades

CONTROLS

- All buildings will have a minimum ceiling height of 2.7m on the ground floor
- The integration of balconies into the front facade of double storey buildings is strongly encouraged
- Subtle use of accent materials and colour changes to first floors is encouraged
- All dwellings to have a maximum height of 9m. Per clause 32.08-9 of the Macedon Ranges Planning Scheme, a building may exceed the maximum building height by up to 1 metre if the slope of the natural ground level, measured at any cross section of the site of the building wider than 8 metres, is greater than 2.5 degrees.



Accessible useable balconies on the upper levels

C. ROOF DESIGN AND MATERIALS

OBJECTIVES

- To ensure that the roof designs and materials are contemporary interpretations of traditional Australian country homes
- To ensure that the roof elements contribute positively to the overall streetscape image

CONTROLS

- Pitched roofs are preferred, flat/skillion roof forms may be supported if the DRP considers they will make a positive contribution to the overall streetscape
- All pitched roofs to have a minimum pitch of 25 degrees where appropriate
- Eaves are mandatory with a minimum depth of 450mm. Houses and garages with zero side setbacks are not required to provide eaves against that boundary
- Pitched roof materials are to be:
 - » Corrugated Colorbond;
 - » Matt finished shingle style terracotta or concrete tiles; or
 - » Matt finish low profile/ slimline terracotta or concrete tiles
- Roof material colours that are shades of grey are encouraged; dark shades of blue and green and shades of red including natural terracotta colours are permitted
- Gable ends facing the primary street are strongly encouraged. Hipped roofs facing the primary street should include a Dutch gable feature



Simple roof designs that contribute to the amenity of the street



Corrugated Colorbond finishes in light colours

D. GARAGES AND CARPORTS

OBJECTIVES

- To ensure that garages and car parking do not dominate the facade of buildings or have a negative impact on the character and amenity of the street
- To ensure garages are carefully integrated into the design of the buildings as secondary elements to the main facade

FRONT LOADED LOTS

- Garages are encouraged to be recessed behind the main facade of the building by a minimum distance of 1m
- Garage doors should not exceed a maximum width of 5.5m or 40% of the lot width
- The design of front verandah or porch elements should give consideration to and be integrated with garages
- Single garages and tandem parking space arrangements are encouraged
- Garage doors are expected to be sectional overhead or panel lift; colours and materials must match and complement the design of the house

CORNER LOTS

- Reduced setbacks to the street boundary are encouraged for side loaded garages bringing the garage towards the secondary street as much as possible (minimum 2m required, refer diagrams page 14)
- Side loaded garages are required to be located towards to rear boundary of the lot; detached garages on the rear boundary are encouraged

LANEWAY ACCESSED COMPACT LOTS

- Carports and flexible spaces integrated into the landscaping of the rear private courtyards are strongly encouraged
- Garage doors off laneways **should not to** exceed a maximum width of 5.5m; secure gateways and side pathways connecting to rear gardens should be provided for where appropriate
- Cottage lots that side on to laneways are required to provide vehicle access and garages off the lane, not the street. Garages should be built to the boundary at the rear of the lots



Garages setback from the primary face of the building to reduce the impact on the facade and the street



Shade structures and pergolas over garages and articulating front facades



Articulation and variation of garages and carports for laneways with character

HOUSE STYLE GUIDELINES

E. BUILDING MATERIALS AND COLOURS

OBJECTIVES

- To create a considered and co-ordinated character across the neighbourhood that reflects and contributes to the identity and urban quality of Kyneton
- To ensure building designs utilise a simple pallet of compatible materials

CONTROLS

- A reduced pallet of materials and finishes is encouraged for the primary facade of houses
- At least 75% of the total wall coverage (excluding windows and openings) of the primary street facade should be the same material
- A maximum of three colours and materials to the primary facade
- Horizontal panel cladding systems are encouraged including timber or Compressed Fibre Cement weatherboards and panels
- Any brick work should use a smooth textured brick in muted natural tones, dark greys, shades of tan, espresso or similar are encouraged
- Rendered surfaces should use light natural tones; buff, sandstone and creams are encouraged
- Accent materials feature colours should not be applied to more than 10% of the total wall coverage (excluding windows and openings) of the primary street facade. Natural timbers, vertical panel cladding, colorbond or other metal cladding systems are encouraged. Vibrant renders or mock stone cladding systems will generally not be approved.
- Timber trims are encouraged for windows and openings in the primary facade of the house
- Variations of materials to the facade of proposal will be considered by the DRP on its individual merit, the final decision regarding all external colours and materials will be at the discretion of the DRP.



Contemporary design elements using traditional materials



Weatherboard cladding



Horizontal panel cladding



Natural timber finishes



Vertical panel cladding



Metal sheet cladding



Vertical Colorbond cladding



Brick veneer



Masonry veneer



Feature timber panels



Vertical louvres and details

F. ANCILLARY STRUCTURES AND MECHANICAL EQUIPMENT

OBJECTIVES

- To minimise the impact on the visual amenity of the streetscapes
- To encourage the use of sustainability technologies

CONTROLS

- Services and ancillary items should be located to minimise visibility from neighbouring properties and the streetscape and shall be of an appropriate colour and finish. This includes but is not limited to items such as:
 - » External plumbing (excluding gutters and downpipes)
 - » Evaporative cooling units
 - » Split system heating/cooling units
 - » Antennae and aerials
 - » Satellite dishes
 - » Clothes lines
 - » Rubbish bins
 - » Meterboxes
 - » Hot water units
 - » Solar/PV panels
- Note: solar/PV panels are not permitted on the front elevation unless specifically approved by the DRP. Corner lots may install panels to the corner side elevation where required for solar efficiency
- Trucks or commercial vehicles and all recreational vehicles including boats and caravans shall be screened from public view when parked or stored
- Internal windows furnishings are expected to be fitted within 3 months of occupancy. Sheets, blankets, paper or similar materials will not be permitted
- The use of roller shutters or fabric awnings to windows is prohibited unless approved by the DRP



Low profile Evaporative Cooling Units mounted under the roof ridge line



Solar panels integrated to roof design to reduce visual impact



Slimline water tanks Integrated within the side setback of the building

A. BOUNDARY AND FRONT FENCING

OBJECTIVES

- Create an attractive street scene with clearly defined front and side property boundaries
- Create a considered and co-ordinated character across the neighbourhood that reflects and contributes to the identity and urban quality of Kyneton
- Ensure adequate privacy for all private open spaces and rear boundaries

CONTROLS

- All properties are required to have a fence on the boundary line. Exceptions will be made for sites with topographical constraints where retaining walls and landscaped batters can be used to define the front boundary
- Front fences to be transparent; constructed of timber pickets, woven wire, capped pickets or other similar materials. Wire mesh, lattice, colorbond panels, powder coated aluminium panels or Perspex materials will not be approved. Horizontal timber slat panels are not encouraged
- Front fences should be constructed to be generally in accordance with the follow requirements:
 - » A minimum transparency of 40%
 - » A top of rail height of 1000mm; and
 - » Fence posts not exceeding 1200mm in height
- Letterboxes are to be at the dedicated pedestrian pathway, integrated into the fence design or into permanent entry piers
- A 1.8m capped timber paling fence is required to side and rear boundaries
- 1.8m side fences are not to extend past the front facade
- The taper of the fence height from full height to match the front fence height should occur in a distance < than 1.5m
- The returns from the front fence to the 1.8m high timber fencing (along the side boundaries in the front yard) must be constructed from capped timber palings to a height of 1m

CORNER LOT

- The front fence treatment is required to extend along the secondary street frontage as far as the secondary facade treatment
- Fence height tapers are not permitted on the secondary street boundary
- Front fence detail to immediately abut full height side fence detail without a height taper



Woven wire front fence with boundary landscaping



Woven wire front fence with painted timber work



Front fence meets 1.8m side fence with no height taper

B. LANDSCAPING

OBJECTIVES

- Create a visually pleasing landscape treatment to the front of all homes and to all side and rear allotments that may be visible from the street
- Minimise the use of hard landscaping in the front gardens of homes

CONTROLS

- Hard surfaces and impermeable materials should not exceed 50% of the front garden including driveways and paths
- Planted garden beds should be implemented to at least 25% of the front garden area; a minimum of 10% of the front garden area should be lawn
- Synthetic lawns or plants are not permitted in areas visible from the street
- For lots larger than 500m², one canopy tree is required in the front garden area, the tree height at the time of planting is not to be less than 1.5m from the root ball. Deciduous trees are encouraged for summer shading and winter sun penetration
- Lawns to be drought tolerant, warm season turfs such as Couch, Kikuyu or Buffalo
- Garden area requirements are in place in the planning scheme and will be enforced through building permit process. The requirements are as follows:
 - » Lots between 400 - 500 sqm - 25%
 - » Lots above 500 - 650 sqm - 30%
 - » Lots above 650 sqm - 35%

These provisions are in accordance with Clause 32.08-4 of the Macedon Ranges Planning Scheme. If these requirements are amended/removed in the future, this requirement of the Design Guidelines will be considered identically amended/removed.



Boundary landscaping



Landscaped edge to driveways



Landscaped batters and walls to street frontage with level changes

APPLICATION FORM & CHECK LIST

The Kyneton on Riverside Design Review Panel will undertake a transparent and objective assessment of your proposed design.

Applicants are required to submit their proposed design to the DRP with a completed copy of the attached application form and assessment checklist.

Plans and forms can be mailed to:

Kyneton on Riverside Design Review Panel
C/- Mario Carrocci
ZFN Management Services Pty Ltd
26 Dow Street
South Melbourne
VIC 3205

Or emailed to:

Kyneton on Riverside Design Review Panel
C/- Mario Carrocci
ZFN Management Services Pty Ltd
mcarrocci@zfn.com.au

Emailed plans must be in PDF form.

The Design Review Panel will assess the proposed design against both the objectives of the guidelines as well as the controls. The Design Guideline Assessment Checklist will be completed by the Design Review Panel.

Comments will be provided as required noting concerns with proposals, areas of non compliance or where design controls may be deemed not applicable. The justification for the approvals of non conforming design will be given.

Proposals which are deemed appropriate by the DRP will be issued a notice of compliance. Failed applications will be issued a design report describing the concerns of the panel and advise on what measured could be taken to revise their proposal and meet the requirement of the Design Guidelines.

KYNETON ON RIVERSIDE

DESIGN GUIDELINE APPLICATION FORM & CHECK LIST

LOT DETAILS

Lot Number _____
Street Address _____
Lot type _____
 Corner Rear Site with Slope

APPLICANT DETAILS

Name _____
Contact Number _____
Email _____
Postal Address _____

BUILDER'S DETAILS

Company _____
Contact Name _____
Contact Number _____
Email _____
Postal Address _____

DECLARATION

I/ We certify that the information in the attached application is a true and accurate representation of the home (we intend to construct, in the event that changes are made to the for approval of such changes.

Name _____
Signature _____

ATTACHMENT CHECKLIST

All applications to the Design Review Panel must include the following documents:

Site Plans
Floor Plans
Building Elevations
Materials and Colour Schedules

Please ensure the following elements are addressed in the documentation provided:

The location, materials, heights and colours of all front, side and rear fences.
The design, materials and colours of the driveway
The details of any cut and fill proposed on the site including final levels and details of any proposed retaining walls.

The location of external fixtures including:

- Air conditioning systems including evaporative cooling units
- Antennae, aerials and satellite dishes
- Clothes lines
- Rubbish bins
- Mailer boxes
- Hot water units
- Solar (PV) panels
- Letter boxes

KYNETON ON RIVERSIDE

DESIGN GUIDELINE ASSESSMENT CHECK LIST

Assessor	Design Approval	
	YES <small>The Design Review Panel has approved the design for construction.</small>	NO <small>The Design Review Panel has not approved the design for construction.</small>
Signature _____		
Design assessment criteria	Assessor notes and comments	
SITE LAYOUT & BUILDING FORM		
A. Street Address & Federation Access	_____	_____
B. Building Orientation	_____	_____
C. Vehicle Access and Driveway	_____	_____
D. Building Setbacks	_____	_____
E. Site with Slope	_____	_____
HOUSE STYLE		
A. Front Facades and Articulation	_____	_____
B. Building Height	_____	_____
C. Roof Design and Materials	_____	_____
D. Garages and Carports	_____	_____
E. Buildings and Materials	_____	_____
F. Ancillary Structures & Mechanical Equipment	_____	_____
LANDSCAPING		
A. Boundary and Front Fencing	_____	_____
B. Landscaping	_____	_____

KYNETON DESIGN GUIDELINES | DECEMBER 2017

KYNETON ON RIVERSIDE

DESIGN GUIDELINE APPLICATION FORM & CHECK LIST

LOT DETAILS

Lot Number

Street Address

Lot Type

Corner Rear Site with Slope

APPLICANT DETAILS

Name

Contact Number

Email

Postal Address

BUILDER'S DETAILS

Company

Contact Name

Contact Number

Email

Postal Address

DECLARATION

I / We certify that the information in the attached application is a true and accurate representation of the home I / We intend to construct. In the event that changes are made to the proposed plans, I / We undertake to resubmit this application for approval of such changes.

Name

Signature Date

ATTACHMENT CHECKLIST

All applications to the Design Review Panel must include the following documents:

Site Plans

Floor Plans

Building Elevations

Materials and Colour Schedules

Please ensure the follow elements are addressed in the documentation provided:

The location, materials, heights and colours of all front, side and rear fences

The design, materials and colours of the driveway

The details of any cut and fill proposed on the site including final levels and details of any proposed retaining walls

The location of external fixtures including:

- Air conditioning systems including evaporative cooling units
- Antennae, aerials and satellite dishes
- Clothes lines
- Rubbish bins
- Meterboxes
- Hot water units
- Solar/PV panels
- Letter boxes

KYNETON ON RIVERSIDE

DESIGN GUIDELINE ASSESSMENT CHECK LIST

Assessors _____

Signature _____

Design Approval

YES

This design is approved, please contact Macedon Ranges Shire Council for permits as required

NO

The Design Review Panel have some suggestions for you, please contact us to discuss

Design assessment criteria

Assessors notes and comments

Does the proposal respond to the Design Guidelines Objective

Does the proposal meet the Design Guideline Controls

SITE LAYOUT & BUILDING SITING

A. Street Address and Pedestrian Access	_____		

B. Building Orientation	_____		

C. Vehicle Access and Driveways	_____		

D. Building Setbacks	_____		

E. Site with Slope	_____		

HOUSE STYLE

A. Front Facades and Articulation	_____		

B. Building Height	_____		

C. Roof Design and Materials	_____		

D. Garages and Carports	_____		

E. Buildings and Materials	_____		

F. Ancillary Structures and Mechanical Equipment	_____		

LANDSCAPING

A. Boundary and Front Fencing	_____		

B. Landscaping	_____		



DISCLAIMERS

The purpose of images and illustrations contained within the document is to illustrate the Design objects and controls they relate to only. Image or illustration does not fully comply with design controls in this design guidelines does not over-ride the intended written content of the document and does not create the grounds for design approval.

The final decision regarding all aspects of the design guidelines will be at the discretion of the DRP. The DRP also reserve the right to waive or vary any requirement of the design guidelines. In the instance of conflict between two or more Design Controls, the decision of the DRP will be final.

Applications exceeding two or more submissions may incur a fee charged and payable prior to plan approval and release.

The Design Guidelines have been endorsed as part of the [Section 173 Agreement](#) requirements for the estate. This does not exempt the applicant from compliance with the associated building and statutory regulations. This is the responsibility of the purchasers and builders.

The DRP approval does not constitute a building permit or replace the need to obtain a permit prior to construction. A separate permit is required to be obtained from Macedon Ranges Shire Council or a private building surveyor. This is the responsibility of the purchasers and builders. Lots less than 300m² will require a planning permit to be approved by the Macedon Ranges Shire Council. This is the responsibility of the purchasers and builders.



**KYNETON ON RIVERSIDE
DISCOVERY CENTRE
& CODED CAFÉ**

46 Piper Street, Kyneton VIC 3444

ON-SITE SALES OFFICE

Campaspe Drive, Kyneton VIC 3444

P: (03) 5460 1283

**E: enquiries@kynetononriverside.com.au
kynetononriverside.com.au**

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*Travel times shown are indicative only. August 2019

